



December 22, 2023

Tyler Yakichuk  
Fotenn Planning and Design  
396 Cooper Street, Suite 300  
Ottawa, ON  
K2P 2H7

Via e-mail – yakichuk@fotenn.com

**Re:                   Status Letter for a Draft Plan of Subdivision  
                          355 Franktown Road  
                          Part of Lot 15, Concession 11, geographic Township of Beckwith,  
                          now Town of Carleton Place, County of Lanark  
                          County of Lanark File No. 09-T-23001**

The subject property is known municipally as 355 Franktown Road. The site is in the south-east area of the Town of Carleton Place, north of Highway 7. The subject property, currently contains a commercial strip mall, including a convenience store, frozen foods store, and a pet store. The remainder of the site is currently vacant and is proposed to be developed for residential uses.

The subject property is designated as Settlement Area in the Sustainable Communities Official Plan of Lanark County, and Residential District in the Town of Carleton Place Official Plan and Residential District in the Development Permit By-law for the Town of Carleton Place.

The proposed draft plan includes three blocks and one internal street. Block 1 is proposed to include two four-storey apartment buildings, each of which contains 48 dwelling units, for a total of 96 apartment dwelling units. 130 underground parking stalls and 18 at-grade visitor parking stalls are proposed for the apartment buildings. Block 2 is proposed to include one townhouse building for six dwelling units. Block 3 will contain the existing commercial development. One internal street is proposed to provide frontage and access for Block 1 and Block 2.

The application was deemed to be complete by Lanark County on January 27, 2023 as to the prescribed information and material to be provided under subsection 51(17) and (18) of the Planning Act. The applicant had re-submitted their comment response letter to external agencies on September 8, 2023 however the response letter email notification was missed due to staff turnover. The comment response re-submission was then circulated to agencies on October 12, 2023.

A summary of the agency comments is included below, the complete letters are attached and should be reviewed in their entirety.



Please find the following agency comments enclosed:

| Agency Name  | Date Received     | Comments  |
|--|-------------------|---|
| Town of Carleton Place                                 | November 16, 2023 | <ul style="list-style-type: none"><li>• Comments regarding site plan, servicing and planning rationale</li><li>• Missing Urban Design Brief to be sent directly to Town</li></ul> |
| Mississippi Valley Conservation Authority              | November 11, 2023 | <ul style="list-style-type: none"><li>• Comments regarding stormwater and EIS</li></ul>   |
| Ministry of Transportation                             | December 22, 2023 | <ul style="list-style-type: none"><li>• No comments as this proposal aligns with the Town's Transportation Master Plan</li></ul>  |
| Leeds, Grenville & Lanark District Health Unit (LGLDU) | December 6, 2023  | <ul style="list-style-type: none"><li>• No comments received</li></ul>  |
| Enbridge   | October 18, 2023  | <ul style="list-style-type: none"><li>• Same comments provided in the initial circulation</li></ul>   |
| Hydro One  | October 25, 2023  | <ul style="list-style-type: none"><li>• Same comments provided in the initial circulation</li></ul>   |
| Bell Canada  | N/A               | <ul style="list-style-type: none"><li>• Same comments provided in the initial circulation</li></ul>   |
| Public   | N/A               | <ul style="list-style-type: none"><li>• No comments</li></ul>   |

Comments are received as of December 22, 2023 and are attached to this letter for ease of reference. All other comments have previously been provided.

Please let me know if you have any questions.

Koren Lam, MSc.  
Senior Planner

cc: 11309455 Canada Corporation  
Niki Dwyer, Town of Carleton Place  
Jasmin Ralph, Lanark County

# Corporation of the Town of Carleton Place

175 Bridge Street, Carleton Place, ON K7C 2V8 Phone: (613) 257-6200 Fax: (613) 257-8170



November 16, 2023  
(transmitted VIA email)

Koren Lam, County Planner  
Lanark of County – Planning Department  
99 Christie Lake Road  
Perth, ON K7H 3C6  
[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)

Re: Draft II Comments – 355 Franktown Road (File - 09-T-23001)  
Proponent – 11309455 Canada Corporation

Ms Lam,

Further to the formal circulation of the Subdivision application for the property known municipally as 355 Franktown Road, the Town has reviewed the resubmission and has included comments to the responses by FoTenn below. Comments provided in the Initial circulation which has been addressed have been deleted from the chain.

## Overall Comments:

- (Town) The application intends to connect to a proposed future street and servicing via the Coleman Central Subdivision. The Coleman Central Subdivision is not yet registered or constructed. This assumed connection makes the assessment of the 09-T-23001 file pre-mature and inconsistent with Section 51(24) of the Planning Act.  
**(FT) Talks are ongoing between the developers of the abutting subdivisions, which will include a servicing agreement, in advance of future development.**  
(Town) The Town is not prepared to provide further comments on the application until the servicing proposal for Coleman Central Subdivision has been approved by the Town as the impact of the scope and size of services may result in the need for upsizing of pipes downstream thereby impacting the feasibility of this application.
- (Town) Staff are happy to provide initial comments on the submission, but as the civil design of Coleman Central is incomplete, we cannot provide fulsome comments on the availability of infrastructure as proposed in the Servicing Brief submitted.  
**(FT) Acknowledged.**  
(Town) No further comments can be provided at this time.
- (Town) Depending on the timeline of the construction process, a turning circle may be required at the dead-end road in front of the townhouse block if construction is not completed by the time there is occupancy in the condominium buildings or townhouses.



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**(FT) Please see the updated Site Plan, which includes the proposed temporary turning basin.**

(Town) This turning circle impedes adjacent lands - please provide a memorandum of understanding with the adjacent property owner for use of the lands. Easement applications will be required as a condition of approval.

- (Town) Proposal refers to the addition of a fire access lane at the rear of the mall providing interim access for the development lands to the west. Is this parcel and deeded access proposed to be created by the plan of subdivision? Or a subsequent easement via consent?

**(FT) It is proposed to be included as part of the Plan of Subdivision application.**

(Town) The preparation of a reference plan will be included as a condition of draft plan approval.

- (Town) The existing commercial plaza is serviced by septic. Will the proposed development seek easements across Block 1 to connect the commercial plaza to the proposed sanitary services in the new public street?

**(FT) The existing commercial plaza will be switched to a sanitary service lateral connected to the proposed sanitary servicing. Easements will be provided as required for the proposed services.**

(Town) Noted. This will be included as a condition of draft plan approval.

## Planning Rationale and Urban Design:

- (Town) The Planning Rationale does not thoroughly review the existing development contained within Block 3 on the Draft Plan and the impact that the new lotting fabric will have on the existing uses conformity with the Development Permit Bylaw. This needs to be amended prior to final review.

**(FT) Block 3, of the submitted Draft Plan of Subdivision includes the existing development occupying the subject property. Specifically, this includes a strip mall and associated parking and drive aisles. The Planning Rationale included did describe the existing condition of the subject property. However, if this was not satisfactory, please review the accompanying updated Site Plan, which indicates the proposed fire access laneway, and identifies the existing building location and associated parking. Additionally, other studies, such as the Transportation Impact Study and Civil Engineering Reports, offer further technical information on the development contained within Block 3. If further information is necessary, please include as part of the next round of technical comments.**

(Town) It is the Town's expectation that through the development and intensification of this site, efforts are made to improve the streetscape of Block 3 fronting on Franktown Road in accordance with the Development Permit Bylaw and Official Plan. In particular the applicant is requested to review the Built Form Design Criteria of Section 14.0 of the



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Development Permit Bylaw and the Community Design Framework found in Section 2.0 of the Official Plan.

- (Town) An Urban Design Brief has not been included in accordance Section 6.13 of the Town's Official Plan. This document is required prior to final review and should include the design of both modified existing and proposed new uses occurring on the site.  
**(FT) Please see the Urban Design Brief prepared as part of the original submission. The document includes all materials referenced within the Urban Design Brief Terms of Reference, and specific materials requested were coordinated through correspondence with Carleton Place planning staff. Should further materials be requested, please include the request as part of the next round of technical comments.**  
(Town) This document has not been provided to our office through the circulation. Please provide a digital copy of the Urban Design Brief directly to the Town of Carleton Place.
- (Town) The Planning Rationale does not include a proposal for how parkland dedications will be satisfied. The report needs to be amended to provide a position on preferred dedication.  
**(FT) Parkland dedication (or Cash-in-leu) will be ideally coordinated through direct correspondence and negotiation with Planning staff. Fotenn is happy to initiate these conversations as soon as possible with all necessary parties.**  
(Town) The Town is agreeable to accepting cash-in-lieu of parkland in accordance with the Parkland Dedication Bylaw 86-2023 (see attached). This dedication will be included as a condition of draft subdivision approval.
- (Town) Page 18 of the Planning Rationale includes a statement regarding the appealing entrance to and front the property fronting on the Mississippi District Thoroughfare. This statement should be explored further to demonstrate how the entrance satisfies the Official Plan. Alternately, the Town will be proposing modifications of the landscaping and pedestrian infrastructure as a condition of the re-configuration of the driveways.  
**(FT) The entrance fronting the Mississippi District Thoroughfare is part of the existing development on the subject property. The entrance represents an existing condition that is consistent with the character and maintenance of commercial entrances fronting Mississippi District Thoroughfares.**  
(Town) It is the Town's expectation that through the development and intensification of this site, efforts are made to improve the streetscape of Block 3 fronting on Franktown Road in accordance with the Development Permit Bylaw and Official Plan. Please provide comment on how improvements will be made to the landscaping and visual impact of Block 3 on the Thoroughfare.

Traffic Impact Study and Traffic Flow Design:



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- (Town) The southern access lane is noted as an emergency access lane but seems to be providing vehicular access to both the mall and subdivision. The TIS however only shows right in only movements off of Franktown Road with no left in movements or egress movements. How is control of this intersection being planned? How is egress from the mall and subdivision being controlled? Franktown is much closer than Coleman and will become a desired route.

**(FT) The TIS has been updated to address and clarify site access. No direct access to Franktown Road is to be provided for residents. The emergency access lane is temporary and will be closed after construction of the parcel to the north is complete.**

(Town) The TIS looks at all of the intersections in the area but does not appear to look at the accesses to the site from Franktown Road nor depict any controlled movements at these accesses or volumes at peak hours. The response indicates that permissions from the adjacent developments are forthcoming. It is not clear what the sequencing for the temporary fire lane/bollard placement/snow storage. Is it suggested that development proceeds in advance of the eastern road link? Why is the secondary access required on Franktown when the fire lane could flow through the parking lot from the northern access?

- (Town) The private entrances to private roadways and access points from the municipal road should be separated by a continuous curb and sidewalk through the private entrance i.e. the curbs are not to wrap into the private roadways.

## SERVICING AND STORMWATER MANAGEMENT REPORT:

### Sanitary

- Prior to advancing this development, the Town has engaged in a consultant to complete a hydraulic grade line assessment to ensure that the existing downstream sewer network from these lands can accommodate the proposed flows and will ultimately determine when the sewer upgrade project will need to be completed.
- The sanitary structure table on drawing C102 has it identified as only having an outlet, however on the site servicing plan it appears to have a sewer run extending to the property line. The invert elevation should be shown within the table.
- Should the sanitary connection from the existing strip mall to A-MH1A exceed 0.610m height difference from the invert to the bottom of the manhole, a drop structure will be required. As it is not indicated the size or inverts of this service.
- A manhole should be installed at the northern property line upstream of manhole 103A.

### Storm

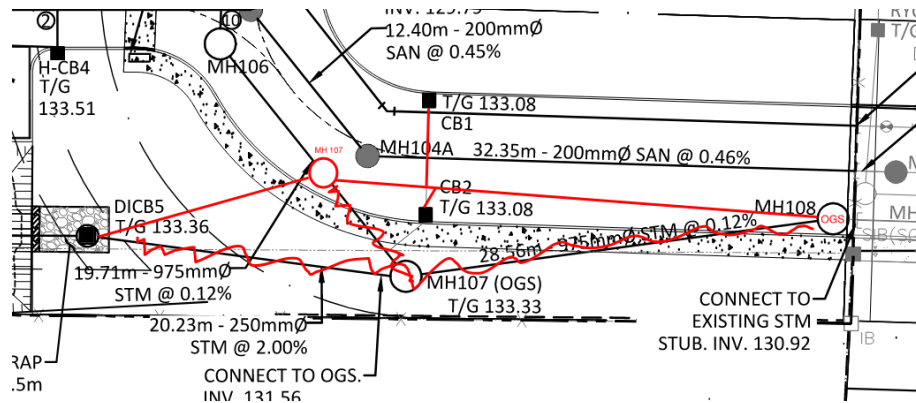


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- Can the storm sewer alignment from Manhole 107 to the existing stub be altered so the manholes are within the roadway and not in the boulevard as shown below? The OGS structure could be relocated to Manhole 108. This would allow for proper access for cleaning of the OGS structure.



- How does the parking garage and entrance drain?
- Confirm how the parking garage and building are being directed into the storm sewer. The storm water management report indicates that the buildings (B1 and B2) are restricted via ICD, however there is a 150mm storm service that connects to the proposed roadway that would not be restricted by and ICD within the storm pond or the temporary DICB.
- 0.3m separation between the underside of footing and the 100-year hydraulic grade line within the storm sewer will need to be confirmed with the servicing report. It is the Town's preference to have this separation provided with a storm sewer service in lieu of sump pumps.
- CB1 and CB2 appear to be missing from the structure table.
- Storm manhole 111 should be installed at the property line and not north of the property line.

## Water

- Valve to the condominium site should be located at the property line.
- The watermain was not illustrated on Lewis St. beyond the Condominium site. How will the Townhomes be serviced?

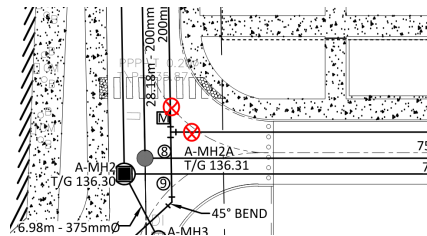


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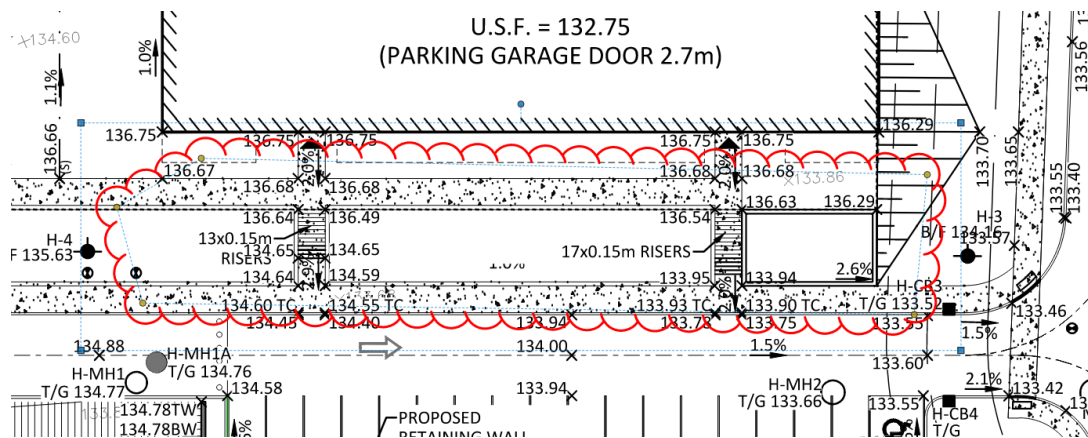


- Insulation details should be added to the plans as there appears to be limited horizontal separation between the watermain and CB1.
- The public works department believes the existing watermain along Franktown Road north of Findlay Ave is 200mm and not 300mm. Please confirm the adequacy of fire flows with the revised sizing.
- All watermain valves are to be right-handed operating valves to provide consistency among municipal valves for future operation by Public Works.
- Confirm the size of the proposed water service for the existing commercial building.
- 2 valves should be added to the drive aisle from Franktown Road.



## Miscellaneous Site Design:

- Grading between 2 sidewalks along the south portion of the eastern condominium building exceeds 3:1 slope.



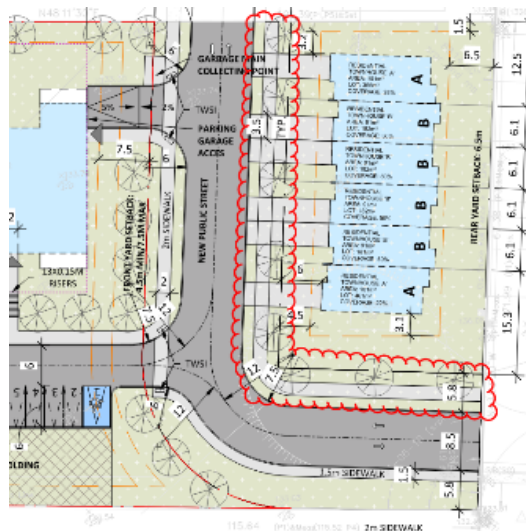


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- The two northern most townhouse driveways are both designed under the minimum slope allowed. The Town has a minimum driveway slope of 2% and a maximum of 6%.
- Swale slopes should be increased to a minimum of 1% to prevent ponding.
- Applicants will need to provide proposed grading along Franktown Road if the intent is to fill in the roadside ditch to ensure there will be no drainage issues with the proposed sloping from back of curb to edge of pavement as noted on the plans.
- Proposed road structure for the new drive aisle was not provided.
- *Comment Carried Forward from Initial Comments:* Confirm trees are not located over proposed services. 1.5m minimum separation is required, 2.5m separation is desirable.
- *Comment Carried Forward from Initial Comments:* Municipal right of way limits not clearly shown adjacent to the townhomes and condominiums. Site triangles will need to be provided for the Townhome property lines.
- Erosion and Sediment control plans will also have to be created to comply with the Town's C.L.I. E.C.A.
- *Comment Carried Forward from Initial Comments:* Ensure that Landscaping, C.U.P., and Illumination plans are all submitted.
- Site plans need to remove the sidewalk along the North side of the roadway connecting to Coleman Central phase 2.



# Corporation of the Town of Carleton Place

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The Town is not in a position to provide further review of the subdivision application until the servicing proposal for the Coleman Central Subdivision is reviewed and accepted. It is understood that the Coleman Central proponent is in contact with the applicant of this file and the applicant is encouraged to follow up with the adjacent developer regarding coordination of projects.

Should you have any questions, please do not hesitate to contact my office.

Kindest Regards,

A handwritten signature in black ink, appearing to read 'Niki Dwyer', written over a horizontal line.

Niki Dwyer, MCIP RPP  
Director of Development Services  
[ndwyer@carletonplace.ca](mailto:ndwyer@carletonplace.ca)

cc: Jen Hughes, Planning Administrative Clerk ([jhughes@carletonplace.ca](mailto:jhughes@carletonplace.ca))  
Mike Walker, Development Review Officer ([mwalker@carletonplace.ca](mailto:mwalker@carletonplace.ca))  
Tyler Yakichuk, Fotenn Planning and Design ([yakichuk@fotenn.com](mailto:yakichuk@fotenn.com))



November 6, 2023  
(revised November 21, 2023)

**File Number: 09-T-23001**

**To:** Diane Reid, Environmental Planner  
**Prepared by:** Jane Cho, Water Resources Engineering Intern  
**Re:** Plan of Subdivision – 09-T-23001 – 355 Franktown Road, Town of Carleton Place

Mississippi Valley Conservation Authority (MVCA) has been circulated the following report in response to MVCA technical review comments dated March 10, 2023:

- Response to Technical Comments, prepared by Fotenn Planning + Design, dated September 8, 2023
- Servicing and Stormwater Management Report, prepared by McIntosh Perry Consulting Engineers Limited, revised September 1, 2023
- Addendum to Environmental Impact Study, prepared by CIMA, June 7, 2023

MVCA provides the following comments for your consideration:

1. Please include background excerpts from the governing report providing design details of the ditch analysis and new outlet to the Creek, as noted in responses 5.14 and 5.16 in the Response to Technical Comments letter (dated September 8, 2023). The subdivision documents referenced in section 5.1 of the report could not be found in the Appendix.
2. Appendix 'B' for pre-consultation notes is referenced in section 6.5 of the report. Pre-consultation notes could not be found in Appendix B. Please review and correct.
3. Please demonstrate that a freeboard of 0.3m between the 100-year water elevation and the overflow elevation is provided in the dry pond (refer to section 8.3.11.5 of the City of Ottawa's Sewer Design Guidelines (2012)).
4. Based on information provided in the Environmental Impact Study (EIS), prepared by Bowfin Environmental Consulting, dated August 2021, part of a wetland extends into the north side of the proposed site and further offsite to the north. It is understood that the portion of the wetland within the site will be removed as part of the proposed development. Please include a description of the wetland drainage, drainage path, and any local flooding potential.
5. Section 6.5 indicated that offsite areas (A3 and B5) will outlet to the storm sewer within Lewis Street at full buildout conditions. It is not clear from the report that the downstream stormwater system within Lewis Street has adequate capacity to capture the flows from A3 and B5. There may be a concern of creating backwater or ponding that will be directed to the proposed site without positive drainage and sufficient storm outlet. Please review the downstream stormwater system for capacity and confirm that the Coleman Subdivision agrees to accept external flows from A3 and B5 to the ultimate discharge point within their development.

Should any questions arise, please contact the undersigned.

Jane Cho  
Water Resources Engineering Intern

## RE: 09-T-23001 - 355 Franktown Road - Resubmission

Nadeau, Alain (MTO) <Alain.Nadeau@ontario.ca>

Fri 12/22/2023 8:51 AM

To: Koren Lam <klam@lanarkcounty.ca>

Cc: Kamal, Tarique (MTO) <Tarique.Kamal@ontario.ca>; Cole, Robert (MTO) <Robert.Cole@ontario.ca>

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Koren,

The Ministry of Transportation has no comments, what they are proposing is part of the master plan.

Since the proposed development is located within our area of control, therefore the development would need to submit a Building and Land Use application which they can apply on line at [www.hcms.mto.gov.on.ca](http://www.hcms.mto.gov.on.ca)

Thank you

*Alain Nadeau*

*Planner*

Corridor Management Section | East Operations

Ministry of Transportation

347 Preston Street, Ottawa

613-720-2802 | [alain.nadeau@ontario.ca](mailto:alain.nadeau@ontario.ca)



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**From:** Koren Lam <klam@lanarkcounty.ca>

**Sent:** December 21, 2023 5:43 PM

**To:** Nadeau, Alain (MTO) <Alain.Nadeau@ontario.ca>

**Cc:** Kamal, Tarique (MTO) <Tarique.Kamal@ontario.ca>

**Subject:** Re: 09-T-23001 - 355 Franktown Road - Resubmission

**CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.**  
Hello Alain,

I'm just following up on comments from MTO traffic section. Are their comments available yet?

Thanks,

Koren

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**From:** Nadeau, Alain (MTO) <[Alain.Nadeau@ontario.ca](mailto:Alain.Nadeau@ontario.ca)>

**Sent:** Wednesday, December 6, 2023 9:10 AM

**To:** Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>  
**Cc:** Kamal, Tarique (MTO) <[Tarique.Kamal@ontario.ca](mailto:Tarique.Kamal@ontario.ca)>  
**Subject:** RE: 09-T-23001 - 355 Franktown Road - Resubmission

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Good morning Koren,

Thank you for the clarification but once an entrance is in place, it will be very hard to remove it. The Traffic Impact Study has been sent to our Traffic Section for review, will see what their response will be.

*Alain Nadeau*

*Planner*

Corridor Management Section | East Operations  
Ministry of Transportation  
347 Preston Street, Ottawa  
613-720-2802 | [alain.nadeau@ontario.ca](mailto:alain.nadeau@ontario.ca)



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**From:** Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>  
**Sent:** December 5, 2023 1:20 PM  
**To:** Nadeau, Alain (MTO) <[Alain.Nadeau@ontario.ca](mailto:Alain.Nadeau@ontario.ca)>  
**Cc:** Kamal, Tarique (MTO) <[Tarique.Kamal@ontario.ca](mailto:Tarique.Kamal@ontario.ca)>  
**Subject:** RE: 09-T-23001 - 355 Franktown Road - Resubmission

**CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.**

Hi Alain,

The developer mentions that the southern entrance is contemplated to be used temporarily until the broader area and abutting sub-divisions are developed. At which point the ingress / egress will only be through the existing access point at the north of the site.

Let me know if you have any further comments.

Koren

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**From:** Nadeau, Alain (MTO) <[Alain.Nadeau@ontario.ca](mailto:Alain.Nadeau@ontario.ca)>  
**Sent:** Friday, December 1, 2023 2:31 PM  
**To:** Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>  
**Cc:** Kamal, Tarique (MTO) <[Tarique.Kamal@ontario.ca](mailto:Tarique.Kamal@ontario.ca)>  
**Subject:** FW: 09-T-23001 - 355 Franktown Road - Resubmission

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon Koren,

Thank you for the reminder, I have forwarded the Traffic Impact Study to our Traffic Section for review.

From a quick review, just wondering if the most southerly entrance to Franktown Road is only going to be used as a fire lane? If not, it does not meet our spacing requirement from the intersection of Highway 7/Franktown Road.

*Alain Nadeau*

*Planner*

Corridor Management Section | East Operations

Ministry of Transportation

347 Preston Street, Ottawa

613-720-2802 | [alain.nadeau@ontario.ca](mailto:alain.nadeau@ontario.ca)



Highway  
Corridor  
Management

---

**From:** Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>

**Sent:** December 1, 2023 12:50 PM

**To:** Kamal, Tarique (MTO) <[Tarique.Kamal@ontario.ca](mailto:Tarique.Kamal@ontario.ca)>; Nadeau, Alain (MTO) <[Alain.Nadeau@ontario.ca](mailto:Alain.Nadeau@ontario.ca)>

**Subject:** FW: 09-T-23001 - 355 Franktown Road - Resubmission

**CAUTION -- EXTERNAL E-MAIL - Do not click links or open attachments unless you recognize the sender.**

Hi Tarique & Alain,

We are missing your comments for this application. I have reviewed the file folders and note that MTO had concerns with the access to Franktown Road. Please see the applicant's response to MTO in the folder below. Let me know if you have any issues accessing the folder.

Thanks,

**Koren Lam, MSc.**

Senior Planner

Lanark County

99 Christie Lake Road

Tay Valley Township, ON K7H 3C6

613-267-4200 Ext 1505

647-326-1142

---

**From:** Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>

**Sent:** Thursday, October 12, 2023 12:39 PM

**To:** Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>

**Cc:** Tyler Yakichuk <[yakichuk@fotenn.com](mailto:yakichuk@fotenn.com)>

**Subject:** 09-T-23001 - 355 Franktown Road - Resubmission

Hello,

The County of Lanark has received a re-submission of a Draft Plan of Subdivision for 355 Franktown Road.

OneDrive Shared link: [09-T-23001 - 355 Franktown Road - Resubmission 2023-10-12](#)

(Note that this link might not work and I recommend following the link in the separate OneDrive email to access this folder)

The following items are found in the OneDrive and a list of items are included below:

- Status Letter from Lanark County, dated October 12, 2023
- Comment Response Letter from Fotenn Planning + Design, dated September 8, 2023
- Revised Site Plan, dated August 30, 2023
- Revised Tree Conservation Report, dated September 6, 2023
- Revised Lewis Street Profile (Servicing), dated September 1, 2023
- Revised Servicing and Stormwater Management Report, dated September 1, 2023
- Revised Lot Grading Plan, dated September 1, 2023
- Revised Site Servicing Plan, dated September 1, 2023
- Addendum to Environmental impact Study, dated June 7, 2023
- Transportation Impact Study, dated June 2023

The full list of documents are submitted in the OneDrive and a full list of items in the re-submission are included in the attached County letter of today's date.

I would like to request that all agency comments are returned to me by **November 12, 2023**

Please do not hesitate to contact me with any questions or for further information.

I look forward to hearing from you.

Thank you,

**Koren Lam, MSc.**

Senior Planner

Lanark County

613-267-4200 Ext. 1505



To: Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>

Subject: RE: 09-T-23001 - 355 Franktown Road - Resubmission

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Koren,

Unfortunately we are unable to provide further comments from our original submission at this time for that deadline. You can maintain me as your contact for the time being.

Thanks for reaching out.

Sincerely,

Danielle

*Danielle Shewfelt*

*R.N. Public Health Nurse,*

*(Pronouns: She/Her)*

*Population Health Department*

*Leeds Grenville and Lanark District Health Unit*

79 Spring Street

Almonte Ontario

K0A 1A0

[danielle.shewfelt@healthunit.org](mailto:danielle.shewfelt@healthunit.org)



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From: Koren Lam <[klam@lanarkcounty.ca](mailto:klam@lanarkcounty.ca)>

Sent: December 6, 2023 10:47 AM

To: Shewfelt, Danielle <[Danielle.Shewfelt@healthunit.org](mailto:Danielle.Shewfelt@healthunit.org)>

Subject: RE: 09-T-23001 - 355 Franktown Road - Resubmission

Hi Danielle – This is a friendly reminder that your comments are due by end of this week. Can you also confirm that moving forward I can include you on the general planning application circulations as part of the Health Unit?

Thanks!

**Koren Lam, MSc.**

Senior Planner

Lanark County

99 Christie Lake Road

Tay Valley Township, ON K7H 3C6

613-267-4200 Ext 1505

647-326-1142





Enbridge Gas Inc.  
500 Consumers Road  
North York, Ontario M2J 1P8  
Canada

October 18, 2023

Koren Lam  
Senior Planner  
County of Lanark  
99 Christie Lake Road  
Perth, ON K7H 3C2

Dear Koren,

Re: Draft Plan of Subdivision - Revised  
11309455 Canada Corporation  
355 Franktown Road  
County of Lanark  
File No.: 09-T-23001

Enbridge Gas does not have changes to the previously identified conditions for this revised application(s).

Sincerely,

A handwritten signature in blue ink, appearing to read 'Willie Cornelio'.

**Willie Cornelio** CET  
Sr Analyst Municipal Planning  
**Engineering**

**ENBRIDGE**  
TEL: 416-495-6411  
500 Consumers Rd, North York, ON M2J1P8

[enbridge.com](http://enbridge.com)

**Safety. Integrity. Respect. Inclusion.**

## Koren Lam

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**From:** SHLLAKU Paul <Paul.Shllaku@hydroone.com>  
**Sent:** February 7, 2023 9:58 AM  
**To:** Julie Stewart  
**Subject:** Lanark County -355 Franktown Road- 09-T-23001

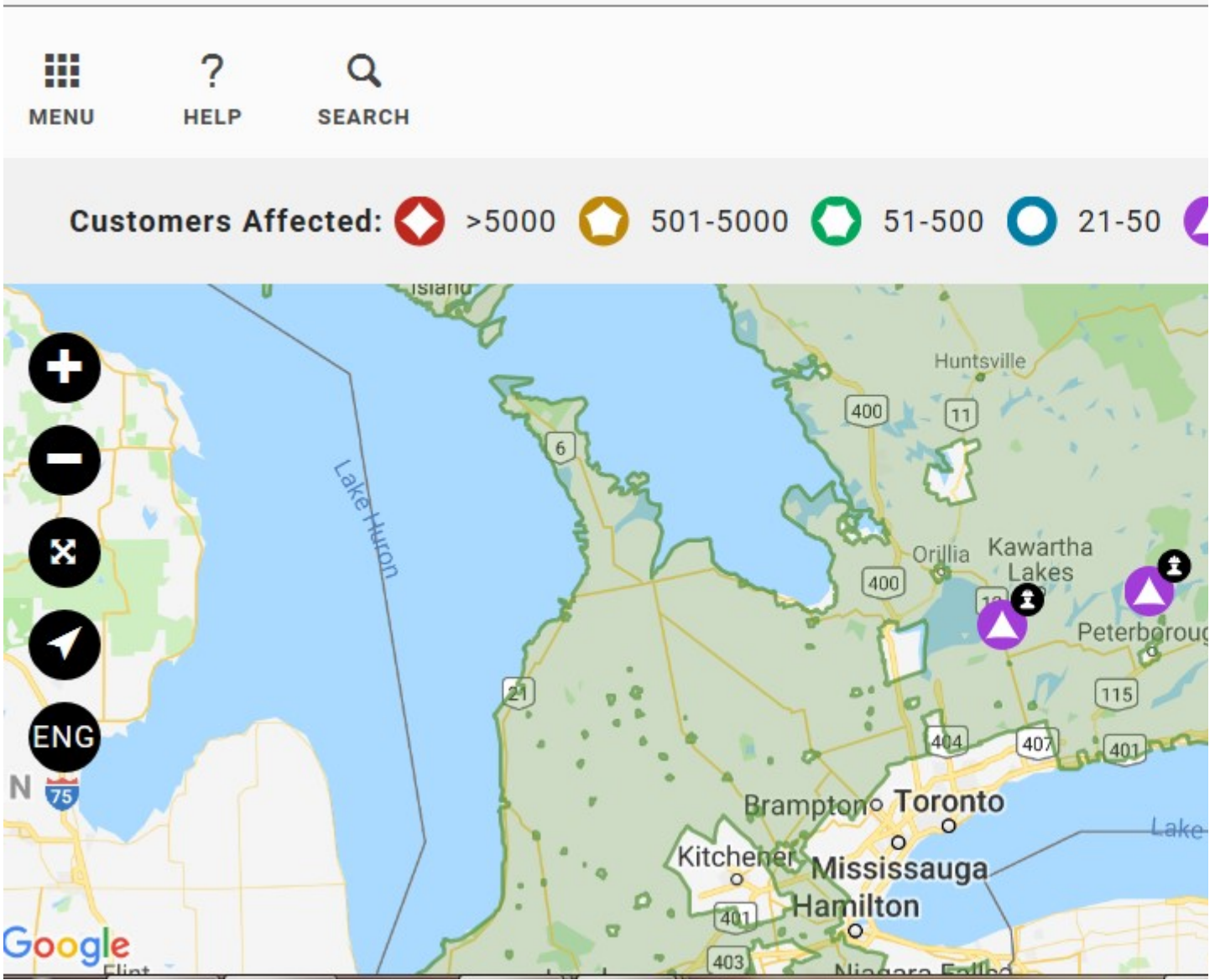
Hello,

We are in receipt of your Plan of Subdivision application, 09-T-23001 dated January 30, 2023. We have reviewed the documents concerning the noted Plan and have no comments or concerns at this time. **Our preliminary review considers issues affecting Hydro One's 'High Voltage Facilities and Corridor Lands' only.**

For proposals affecting 'Low Voltage Distribution Facilities' the Owner/Applicant should consult their local area Distribution Supplier. Where Hydro One is the local supplier the Owner/Applicant must contact the Hydro subdivision group at [subdivision@Hydroone.com](mailto:subdivision@Hydroone.com) or 1-866-272-3330.

To confirm if Hydro One is your local distributor please follow the following link:  
<http://www.hydroone.com/StormCenter3/>

Please select " Search" and locate address in question by entering the address or by zooming in and out of the map



If you have any further questions or inquiries, please contact Customer Service at 1-888-664-9376 or e-mail [CustomerCommunications@HydroOne.com](mailto:CustomerCommunications@HydroOne.com) to be connected to your Local Operations Centre

If you have any questions please feel free to contact myself.

Thank you,

**Dennis De Rango**

Specialized Services Team Lead, Real Estate Department  
Hydro One Networks Inc.  
Tel: (905)946-6237

Email: [Dennis.DeRango@HydroOne.com](mailto:Dennis.DeRango@HydroOne.com)

**From:** [circulations@wsp.com](mailto:circulations@wsp.com)  
**To:** [Julie Stewart](#)  
**Subject:** Draft Plan of Subdivision Application (09-T-23001); 355 Franktown Rd., Lanark County  
**Date:** February 7, 2023 9:04:43 PM

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2023-02-07

Julie Stewart

Carleton Place

, ,

Attention: Julie Stewart

**Re: Draft Plan of Subdivision Application (09-T-23001); 355 Franktown Rd.,  
Lanark County; Your File No. 09-T-23001**

To Whom this May Concern,

We have reviewed the circulation regarding the above noted application. The following paragraphs are to be included as a condition of approval:

“The Owner acknowledges and agrees to convey any easement(s) as deemed necessary by Bell Canada to service this new development. The Owner further agrees and acknowledges to convey such easements at no cost to Bell Canada.

The Owner agrees that should any conflict arise with existing Bell Canada facilities where a current and valid easement exists within the subject area, the Owner shall be responsible for the relocation of any such facilities or easements at their own cost.”

Upon receipt of this comment letter, the Owner is to provide Bell Canada with servicing plans/CUP at their earliest convenience to [planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca) to confirm the provision of communication/telecommunication infrastructure needed to service the development.

It shall be noted that it is the responsibility of the Owner to provide entrance/service duct(s) from Bell Canada’s existing network infrastructure to service this development. In the event that no such network infrastructure exists, in accordance with the Bell Canada Act, the Owner may be required to pay for the extension of such network infrastructure.

If the Owner elects not to pay for the above noted connection, Bell Canada may decide not to provide service to this development.

To ensure that we are able to continue to actively participate in the planning process and

provide detailed provisioning comments, we note that we would be pleased to receive circulations on all applications received by the Municipality and/or recirculations.

We note that WSP operates Bell Canada's development tracking system, which includes the intake and processing of municipal circulations. However, **all responses to circulations and requests for information, such as requests for clearance, will come directly from Bell Canada, and not from WSP.** WSP is not responsible for the provision of comments or other responses.

Should you have any questions, please contact the undersigned.

Yours truly,

Juan Corvalan  
Senior Manager - Municipal Liaison  
Email: [planninganddevelopment@bell.ca](mailto:planninganddevelopment@bell.ca)

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-LAEHhHzdJzBITWfa4Hgs7pbKl