

Site & Survey Information:

Municipal Address: 347 Franktown Road, Carleton Place ON
 Legal Description: Part of Lot 15, Concession 11, Geographic Township of Bedewith, Town of Carleton Place, County of Lanark
 Total Site Area: 29.951m² (2.9951 hectares) consisting of:
 20m [W] Public R.O.W.: 2.603m² (0.2603 hectares)
 20m [W] Turning Circle: 632m² (0.0632 hectares)
 Phase 1 Site: 12,031m² (1.2031 hectares)
 Phase 2 Site: 7,271m² (0.7271 hectares)
 Phase 3 Site: 4,130m² (0.4130 hectares)
 Phase 4 Site: 3,294m² (0.3294 hectares)
 This site plan has been compiled using the July 5th, 2021 topographical plan of survey provided by Annis, O'Sullivan, Vollebek Ltd., Ontario Land Surveyors. The neighbouring site plan has been compiled using the April 7th, 2020 topographical plan of survey provided by Annis, O'Sullivan, Vollebek Ltd., Ontario Land Surveyors.

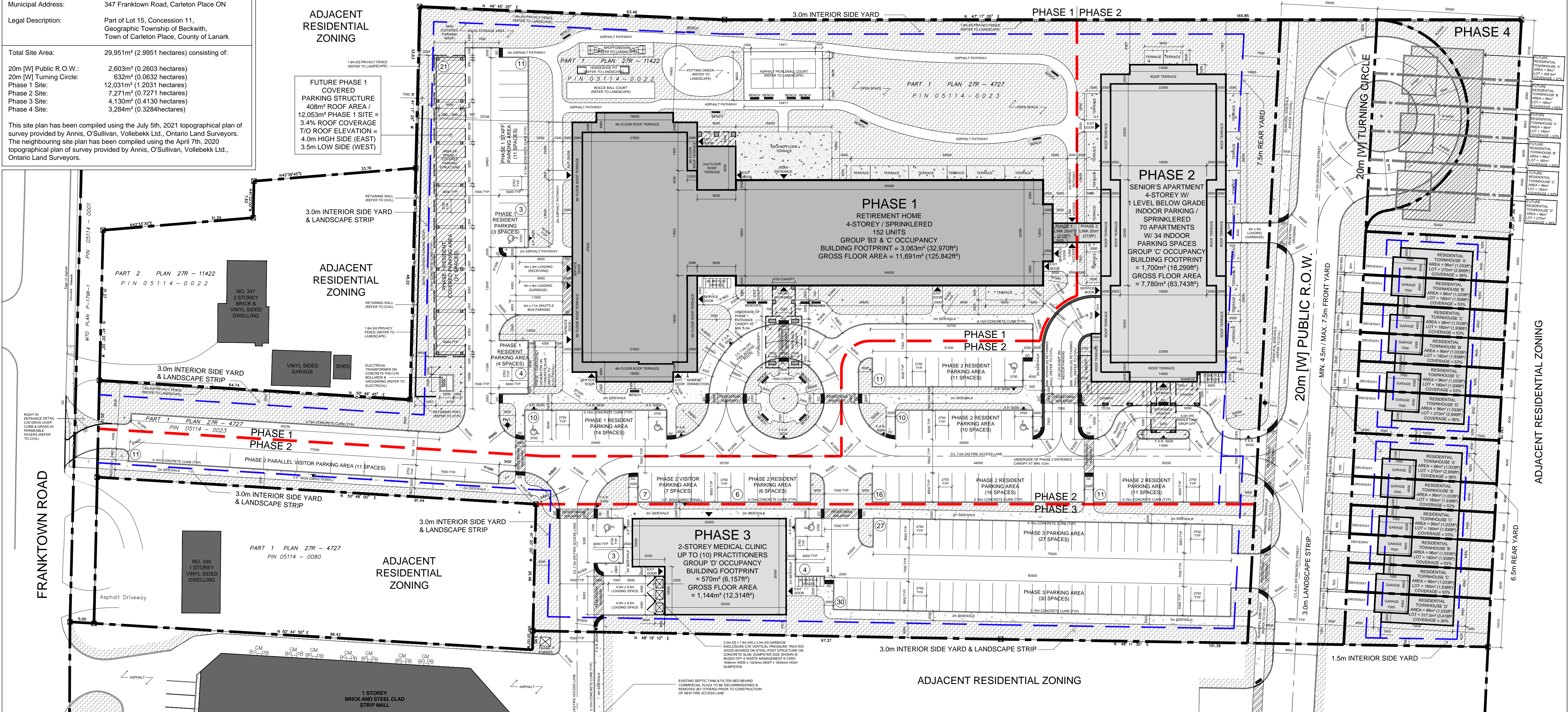
ADJACENT RESIDENTIAL ZONING

FUTURE PHASE 1 COVERED PARKING STRUCTURE
 408m² ROOF AREA / 12.053m² SITE = 3.4% ROOF COVERAGE TO ROOF ELEVATION + 4.0m HIGH SIDE (EAST) 3.5m LOW SIDE (WEST)

ADJACENT RESIDENTIAL ZONING

PHASE 1 / PHASE 2

PHASE 4



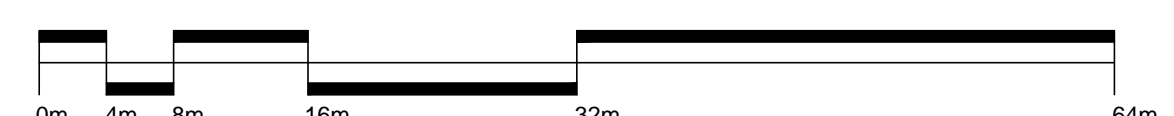
FRANKTOWN ROAD

ADJACENT RESIDENTIAL ZONING

Zoning Information:

The site plan for 347 Franktown Road is based on the Town of Carleton Place Development Permit By-Law 15-2015, the corresponding Development Permit Schedule 'A' and the applicable Residential, Commercial & Institutional Development Standards.
 Refer to the accompanying Planning Rationale & Urban Design Brief prepared by McIntosh Perry for the applicable zoning criteria for each development phase.

1 Site Plan
 A1.0 1:450



Phase 1 Retirement Home Building Information:

(152) Retirement Home Dwelling Units consisting of:
 (73) Independent, (22) Memory Care, (35) Assisted Care & (22) 1SL: Retirement Home Units
 Ground Floor Level Area: 3,063m² (32,970ft²) w/ (7) Independent Units
 Second Floor Level Area: 2,988m² (32,163ft²) w/ (22) Memory Care & (35) Assisted Care Units
 Third Floor Level Area: 2,687m² (28,866ft²) w/ (23) Independent & (22) 1SL Units
 Fourth Floor Level Area: 2,657m² (28,546ft²) w/ (38) Independent Units
 Total Gross Floor Area: 11,691m² (125,842ft²) + Phase 1 Portion of Link at 20m² (215ft²)
 Building Height: 15.4m (±50'-6")
 * Vertical distance measured from average grade to the top of the parapet wall.
 Proposed Height Exception: 1.35m (±4'-5")
 ** Rooftop privacy screen enclosing the rooftop mechanical equipment and elevator hoistway.
 Number of Storeys: (4) stories above grade

Phase 2 Senior's Apartment Building Information:

(70) Senior Apartment Dwelling Units consisting of:
 (14) Ground Floor Units, (19) Second Floor Units, (19) Third Floor Units & (18) Fourth Floor Units
 Basement Floor Level Area: 1,700m² (18,299ft²) w/ (34) Indoor Parking Spaces
 Ground Floor Level Area: 1,700m² (18,299ft²) w/ (14) Senior Apartment Units
 Second Floor Level Area: 1,569m² (17,179ft²) w/ (19) Senior Apartment Units
 Third Floor Level Area: 1,569m² (17,179ft²) w/ (19) Senior Apartment Units
 Fourth Floor Level Area: 1,188m² (12,787ft²) w/ (18) Senior Apartment Units
 Total Gross Floor Area: 7,780m² (83,743ft²) + Phase 2 Portion of Link at 20m² (218ft²)
 Building Height: 15.4m (±50'-6")
 * Vertical distance measured from average grade to the top of the parapet wall.
 Proposed Height Exception: 1.35m (±4'-5")
 ** Rooftop privacy screen enclosing the rooftop mechanical equipment and elevator hoistway.
 Number of Storeys: (4) stories above grade + (1) storey below grade

Phase 3 Medical Clinic Building Information:

Ground Floor Level Area: 572m² (6,157ft²)
 Second Floor Level Area: 572m² (6,157ft²)
 Total Gross Floor Area: 1,144m² (12,314ft²)
 Building Height: 9.14m (30-0")
 * Vertical distance measured from average grade to the top of the parapet wall.
 Number of Storeys: (2) stories above grade

Phase 1, 2 & 3 Combined Parking Information:

Phase 1, 2 & 3 Combined Parking Required: 210 parking spaces consisting of:
 (44) Phase 1 + (106) Phase 2 + (60) Phase 3
 Phase 1, 2 & 3 Combined Parking Provided: 219 parking spaces consisting of:
 (49) Phase 1 + (106) Phase 2 + (64) Phase 3

Phase 1 Parking Information:

Phase 1 Resident Parking Required: 0.25 spaces per dwelling unit = 0.25 x 152 dwelling units (Retirement Home Rate) = 38 spaces
 Phase 1 Resident Parking Provided: 38 parking spaces consisting of:
 Regular: 14 regular spaces @ 2.75m x 6.0m
 Covered Regular: 21 mature covered regular spaces @ 2.75m x 6.0m
 Accessible: 3 spaces @ 3.7m x 6.0m as per Bylaw No. 137-2021
 Phase 1 Staff Parking Required: (Retirement Home Rate) = 6 spaces
 Phase 1 Staff Parking Provided: 6 regular spaces @ 2.75m x 6.0m
 Total Phase 1 Parking Required: 44 parking spaces
 Total Phase 1 Parking Provided: 49 parking spaces

Phase 2 Parking Information:

Phase 1 Bicycle Parking Provided: 6 spaces @ 2.0m x 0.75m / space
 Phase 1 Loading Spaces Provided: 2 loading spaces @ 4.0m x 9.0m & 1 space @ 4.0m x 11.0m
 Phase 2 Resident Parking Required: (Apartment Dwelling Rate) = 88 spaces
 Phase 2 Resident Parking Provided: 88 parking spaces consisting of:
 Regular: 52 regular spaces @ 2.75m x 6.0m
 Accessible: 2 spaces @ 3.7m x 6.0m as per Bylaw No. 137-2021
 Indoor Regular: 33 indoor regular spaces @ 2.75m x 6.0m
 Indoor Accessible: 1 indoor space @ 3.7m x 6.0m as per Bylaw No. 137-2021
 Phase 2 Visitor Parking Required: 0.25 spaces per dwelling unit = 0.25 x 70 dwelling units (Visitor Parking Rate) = 18 spaces
 Phase 2 Visitor Parking Provided: 18 parking spaces consisting of:
 Regular: 7 regular spaces @ 2.75m x 6.0m
 Parallel: 11 parallel spaces @ 2.75m x 7.0m
 Total Phase 2 Parking Required: 106 parking spaces
 Total Phase 2 Parking Provided: 106 parking spaces
 Phase 2 Bicycle Parking Provided: 7 outdoor spaces @ 2.0m x 0.75m / space
 23 indoor spaces @ 2.0m x 0.75m / space
 Phase 2 Loading Spaces Provided: 1 loading space @ 4.0m x 9.0m

Phase 3 Parking Information:

Phase 3 Parking Required: (Medical Clinic Rate) = 60 spaces
 Phase 3 Parking Provided: 64 parking spaces consisting of:
 Regular: 62 regular spaces @ 2.75m x 6.0m
 Accessible: 2 spaces @ 3.7m x 6.0m as per Bylaw No. 137-2021
 Phase 3 Bicycle Parking Provided: 8 spaces @ 2.0m x 0.75m / space
 Phase 3 Loading Spaces Provided: 2 loading spaces @ 4.0m x 9.5m

Phase 1 Site Statistics:

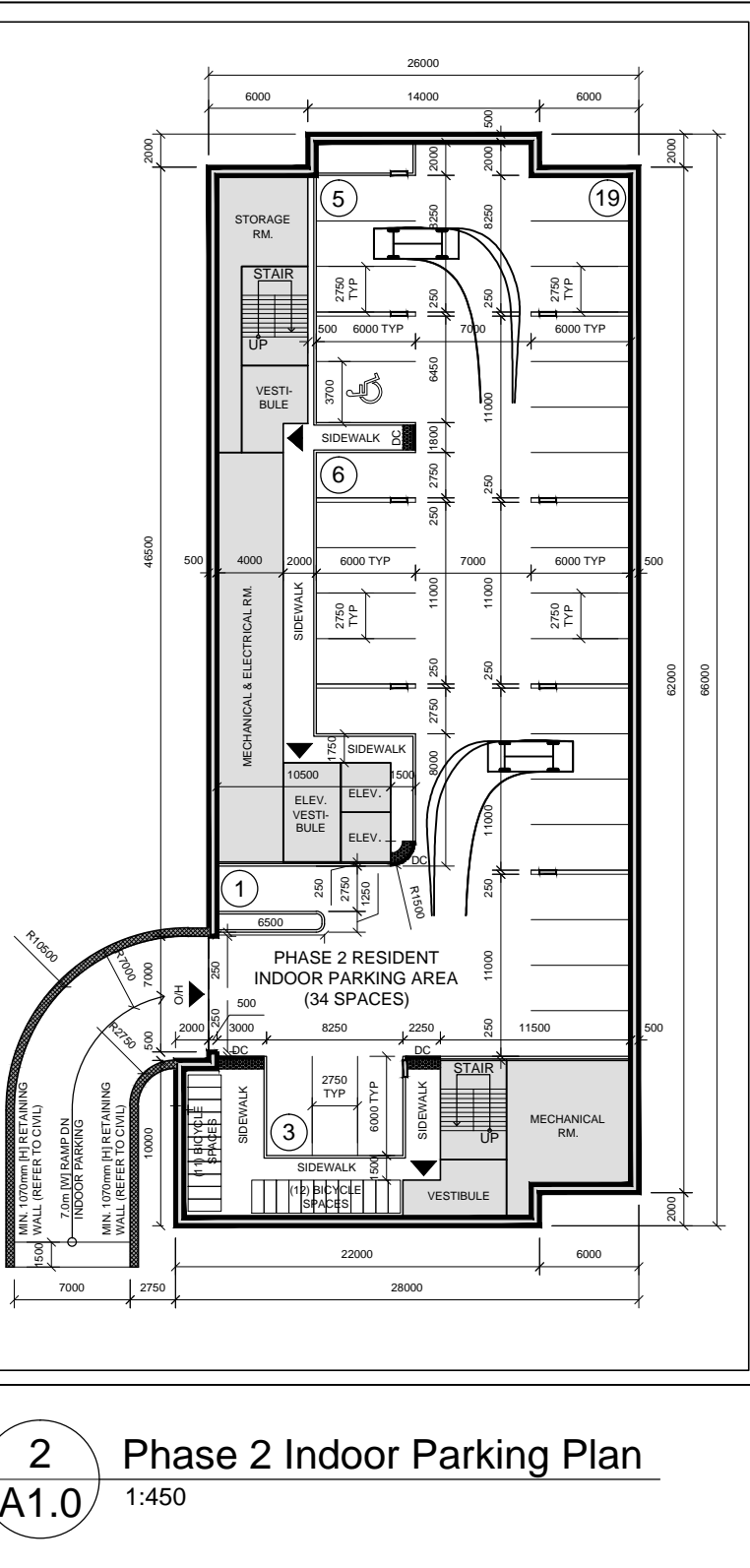
Phase 1 Building + Partial Link Area / Phase 1 Site: 3,083m² / 12,031m² = 25.6%
 Phase 1 Impervious Surfaces* / Phase 1 Site: 5,826m² / 12,031m² = 48.5%
 Phase 1 Landscape Open Space** / Phase 1 Site: 6,203m² / 12,031m² = 51.5%
 Phase 1 Vegetated / Phase 1 Landscape Open Space**: 4,202m² / 6,203m² = 67.7% of L.O.S.
 Phase 1 Hard Surfaced / Phase 1 Landscape Open Space**: 2,001m² / 6,203m² = 32.3% of L.O.S.

Phase 2 Site Statistics:

Phase 2 Building + Partial Link Area / Phase 2 Site: 1,720m² / 7,271m² = 23.7%
 Phase 2 Impervious Surfaces* / Phase 2 Site: 4,893m² / 7,271m² = 67.3%
 Phase 2 Landscape Open Space** / Phase 2 Site: 2,378m² / 7,271m² = 32.7%
 Phase 2 Vegetated / Phase 2 Landscape Open Space**: 1,493m² / 2,378m² = 62.8% of L.O.S.
 Phase 2 Hard Surfaced / Phase 2 Landscape Open Space**: 885m² / 2,378m² = 37.2% of L.O.S.

Phase 3 Site Statistics:

Phase 3 Building Area / Phase 3 Site: 572m² / 4,130m² = 13.8%
 Phase 3 Impervious Surfaces* / Phase 3 Site: 2,680m² / 4,130m² = 64.9%
 Phase 3 Landscape Open Space** / Phase 3 Site: 1,450m² / 4,130m² = 35.1%
 Phase 3 Vegetated / Phase 3 Landscape Open Space**: 906m² / 1,450m² = 62.5% of L.O.S.
 Phase 3 Hard Surfaced / Phase 3 Landscape Open Space**: 544m² / 1,450m² = 37.5% of L.O.S.
 *Impervious Surfaces = Buildings, Asphalt Parking Areas & Curbs
 **Landscape Open Space (L.O.S.) = Vegetated & Hard Surfaced

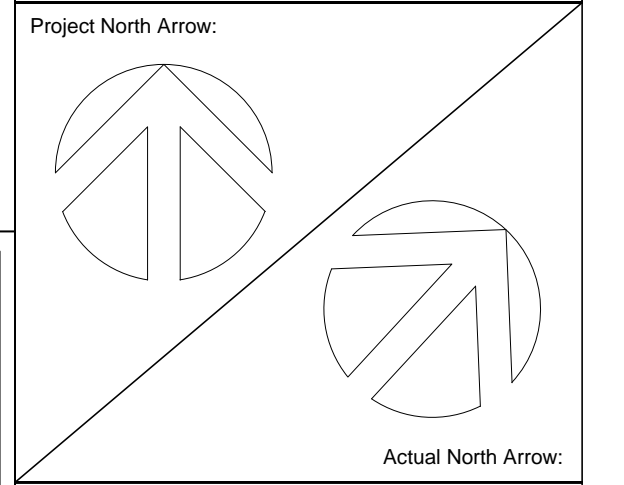
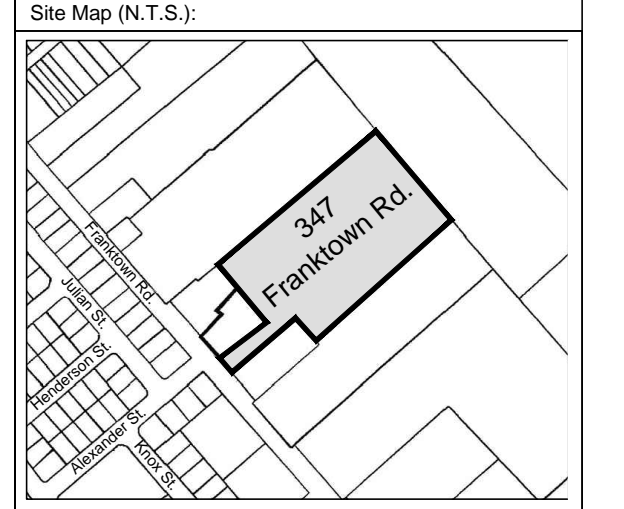


2 Phase 2 Indoor Parking Plan
 A1.0 1:450

No.	Issued For:	Date:
01	For Site Plan Approval	08-13-2021
02	For Appraisal	01-07-2022
03	For Consultants	04-14-2022
04	For Coordination	06-09-2022
05	For Site Plan Approval	06-24-2022
06	For Pricing	11-25-2022
07	For Tender	12-15-2022
08	For Site Works Tender	02-27-2023
09	For Client Review	09-21-2023
10	For Coordination	02-27-2024

It is the responsibility of the appropriate Contractor to verify all dimensions on site and report all errors and/or omissions to the Architect. All Contractors must comply with pertinent codes & by-laws. Do not scale drawings. This drawing may not be used for construction until signed. Architect's copyright reserved. Metric Scale Drawing. All measurements are in millimeters (mm) unless otherwise noted.

- Symbol Legend:**
- DENOTES PHASE 1 WORK
 - DENOTES PHASE 2, 3 & 4 WORK
 - DENOTES EXISTING BUILDING
 - DENOTES ROOF/CANOPY AREA
 - DENOTES TERRACE AREA
 - DENOTES RETAINING WALL
 - DENOTES LANDSCAPE AREA
 - DENOTES CONCRETE
 - DENOTES PAVERS
 - DENOTES LINE PAINTING
 - DENOTES PROPERTY LINE
 - DENOTES SETBACK LINE
 - DENOTES PHASING LINE
 - DENOTES CAL. STREET AND/OR FIRE ACCESS ROUTE
 - DENOTES BUILDING ENTRANCE
 - DENOTES DEPRESSED CURB
 - DENOTES ACCESSIBLE PARKING SPACE
 - DENOTES ALUMINUM SIGN
 - DENOTES 610mm WIDE TACTILE WALKING SURFACE INDICATOR
 - DENOTES FIRE DEPARTMENT SIEMSE CONNECTION
 - DENOTES FIRE HYDRANT



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Project Title: Carleton Lifestyles Phase 1 Retirement Home, 347 Franktown Road, Carleton Place ON
 Drawing List:
 Site Plan
 Job No.: 2108 Drawing No.:
 Scale: As Noted **A1.0**
 Drawn By: TB Reviewed By: PM